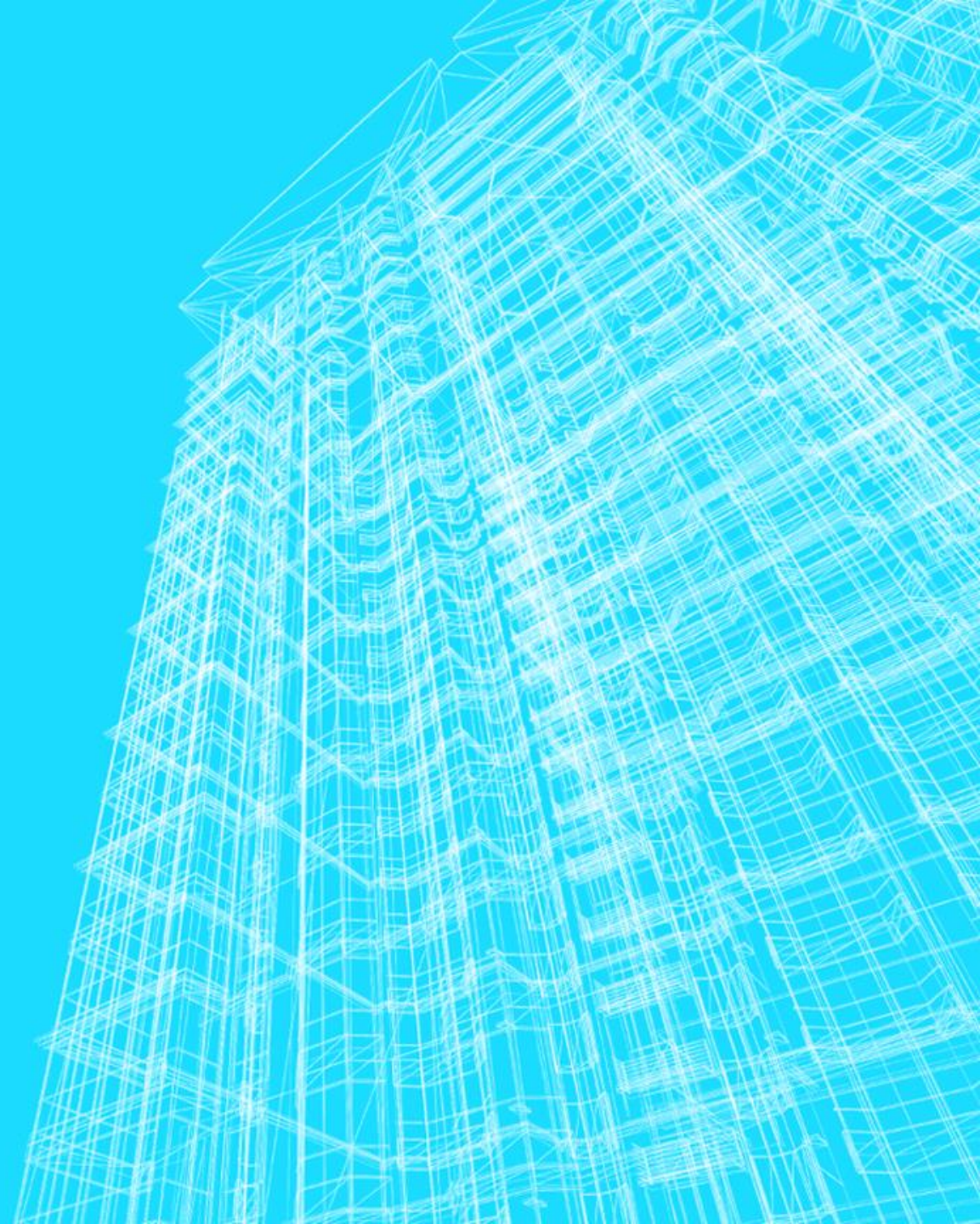


PLANOWANIE PRZESTRZENNE

W AUSTRALII

Opracowanie:
Maciej Zenkteler



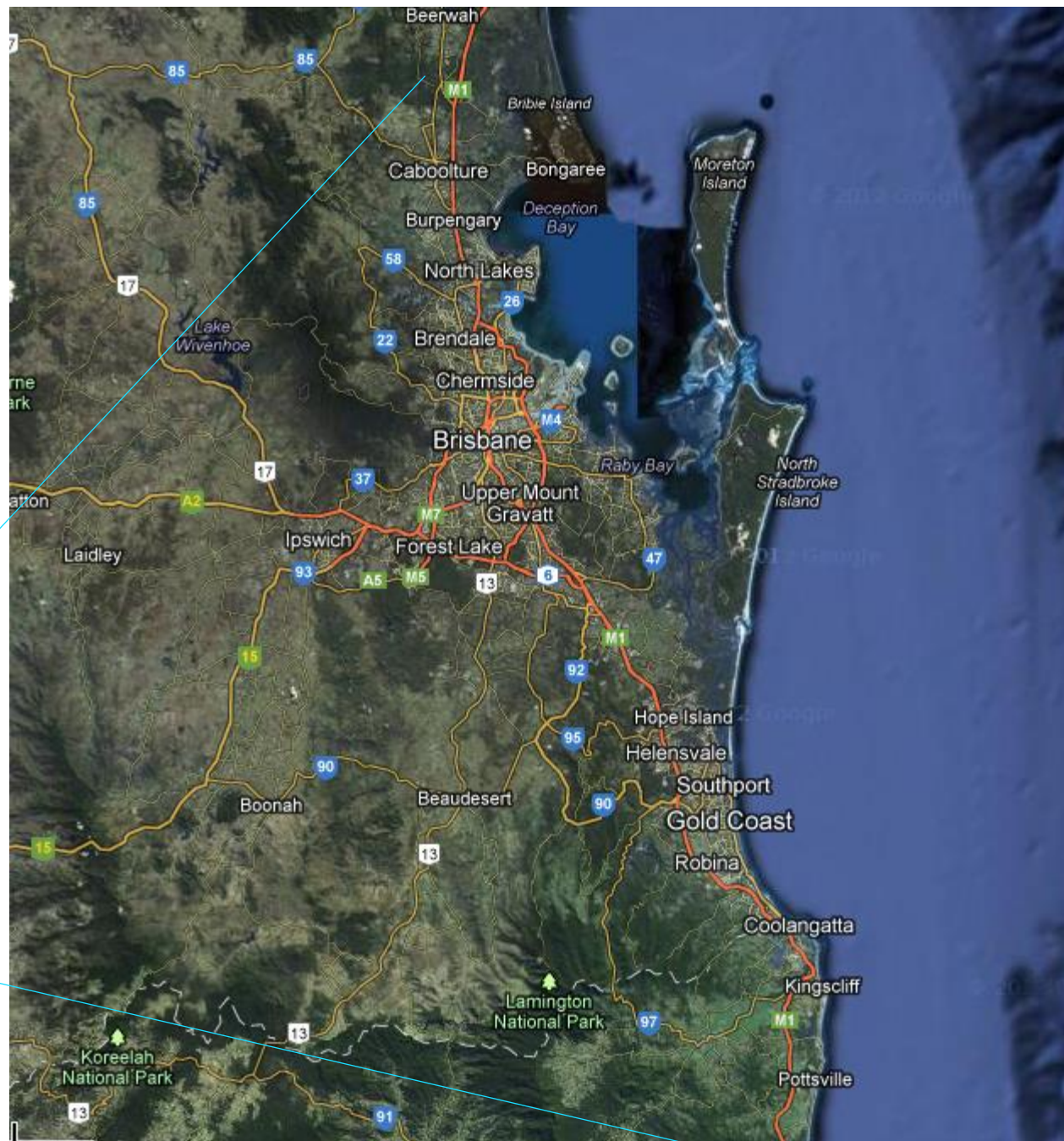


Stany australijskie prowadzą odrębną politykę planistyczną.

Prezentacja omawia modele polityki planistycznej stanów Queensland oraz Nowa Południowa Walia.

Region South-East Queensland:

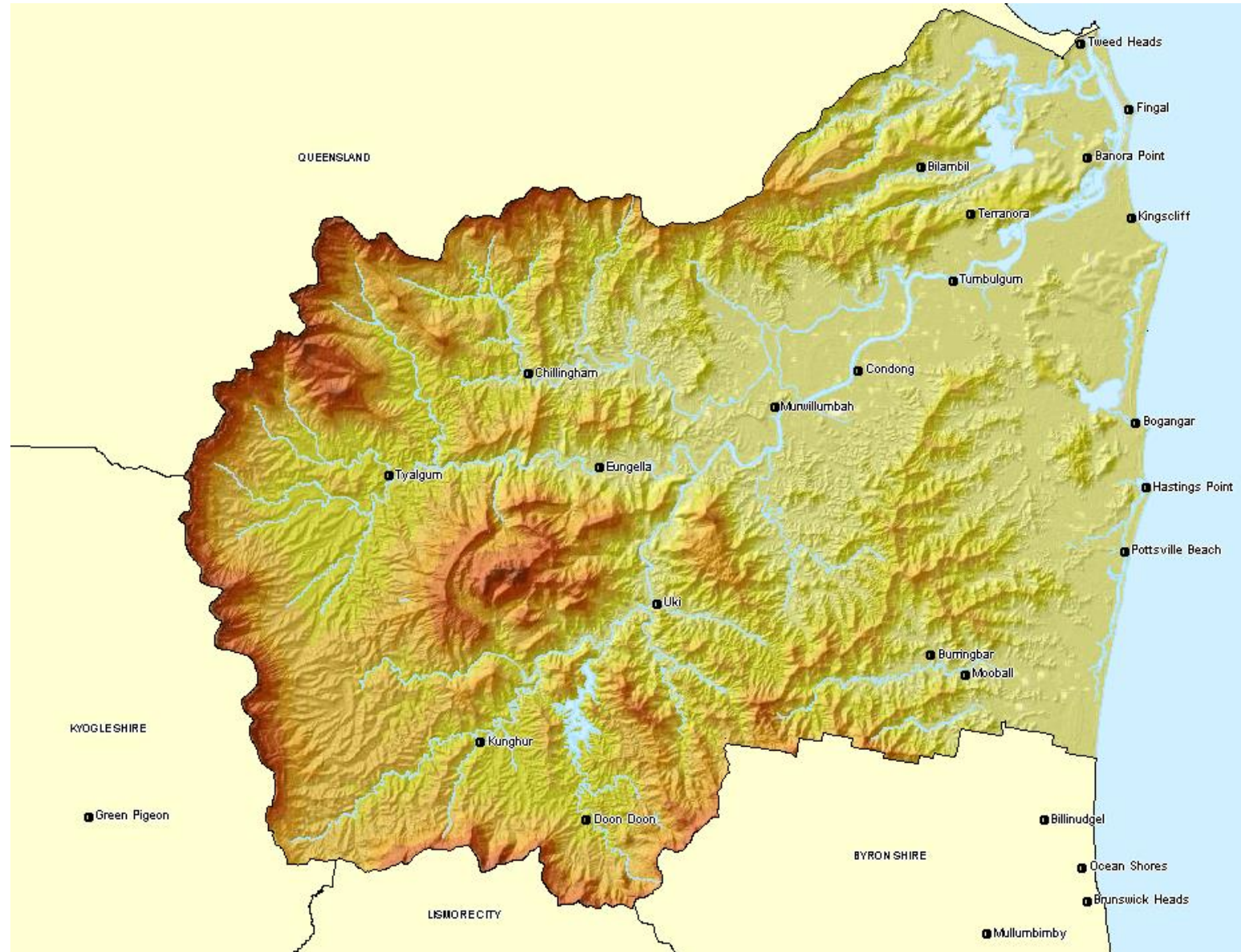
3,05 mln mieszkańców
10 gmin

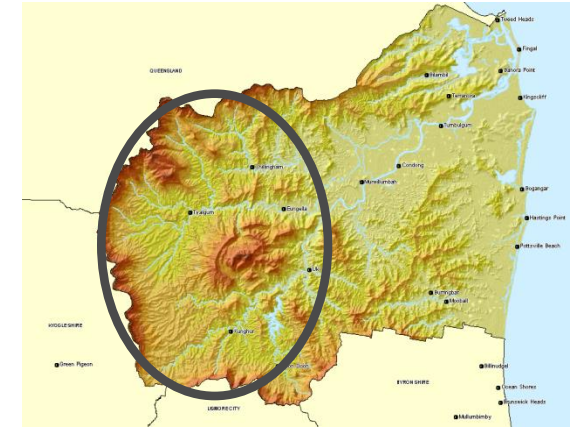
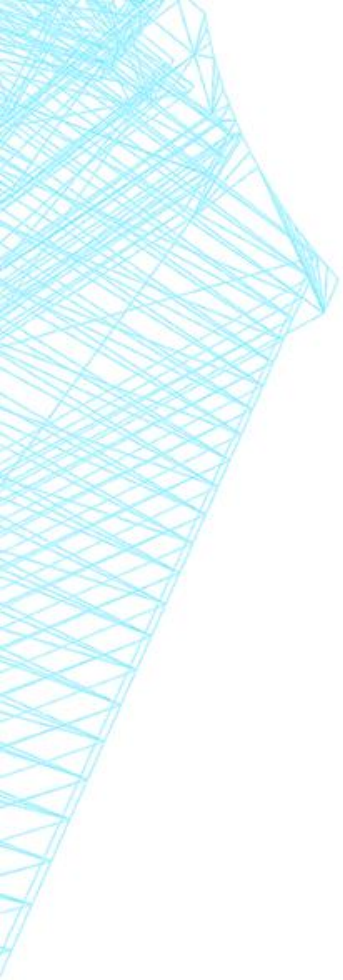


Gold Coast Council (Queensland):
550 000 mieszkańców



Tweed Council (New South Wales)
90 000 mieszkańców



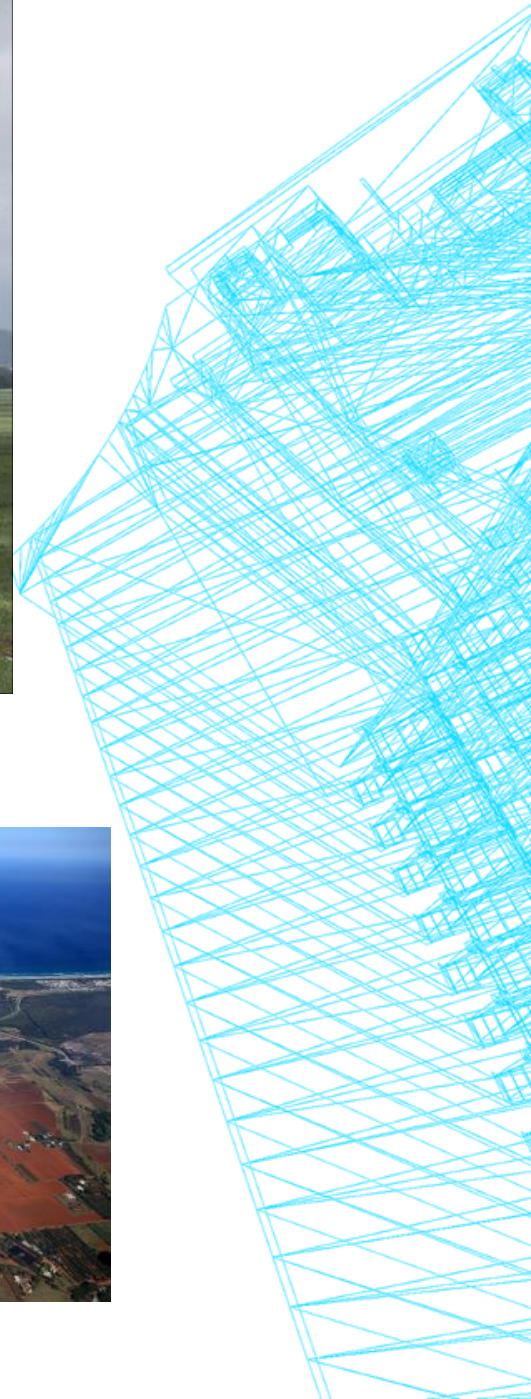


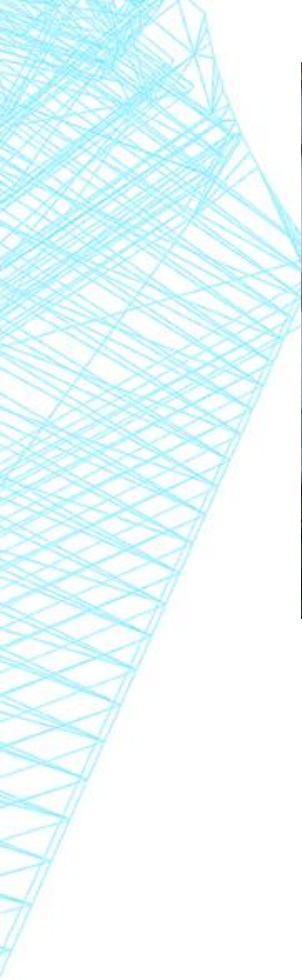
Tweed Council: góry na zachodzie





Tweed Council: pola uprawne
(trzcina cukrowa)



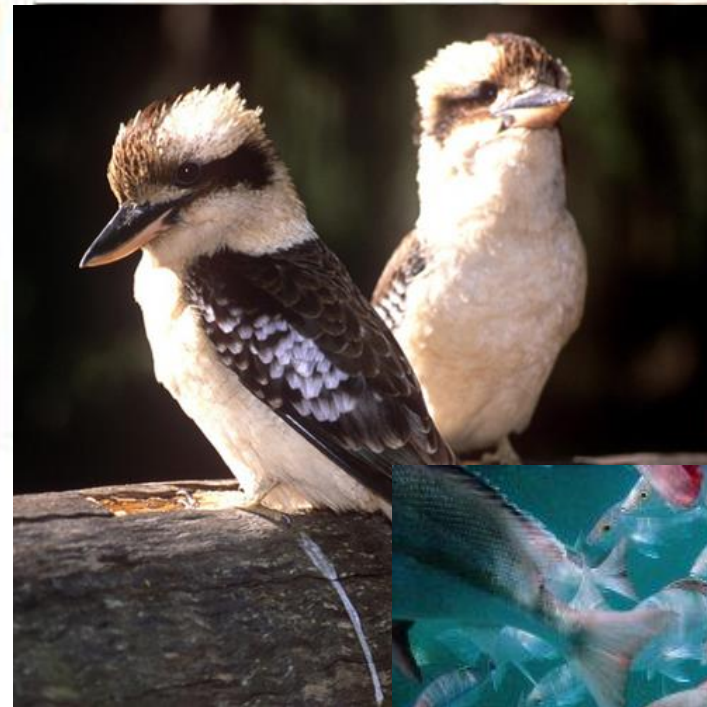


Tweed Council: wybrzeże





Trzeci najbardziej zróżnicowany przyrodniczo region a Australii





Mieszkańcy

TREE

Tweed River Environmental Echo
Newsletter of The Caldera Environment Centre

Vol. 11, Issue 1 Autumn 2013 50c or free

EP. HOPKINS

Sloga drzewa to lot of the dot to want to conservation. With a background in both Architecture and Town Planning the appreciation of both landscape and the built environment was crucial to him. Over that time he and others contributed to major campaigns and eventually secured convictions on behalf of the Environment Centre. Despite the frustration and eventually instrumental position of Council he always thought it worthwhile to play on. He had the other eye fixed to advocate for 'his' results. Fortunately there were some successes that were really exciting. About ten years ago he became interested in the UNESCO Storyline Reserve Program thinking that further international recognition might help protect the Caldera recognizing that environmental protection can lie at the whim of political expediency. Sloga drzewa to lot to be picked up by others.

Other to some connecting to lot were another of his 'yesters' recognizing that our reluctance to deal with our own waste was indicative of society's inability to confront uncomfortable realities and employ the best available solutions. He with all environmental 'stewards' he tried to hope that common sense and common science would prevail over ego and vested interests.

Sloga personally enjoyed exercising his imagination and intellect through letters, being the clearly and proactively self-empowering, contemporary citizen and the awareness of being with people who shared the world view and concerns. If 'we' were not there representing the environment's interests even if the outcome are negative then that isn't up to us. The Council of the CEC and the Dot to T line had been encouraging me to keep the door open and the stewards.

Cynthia Brock







Osada Tyalgum:
Ludzie Wody



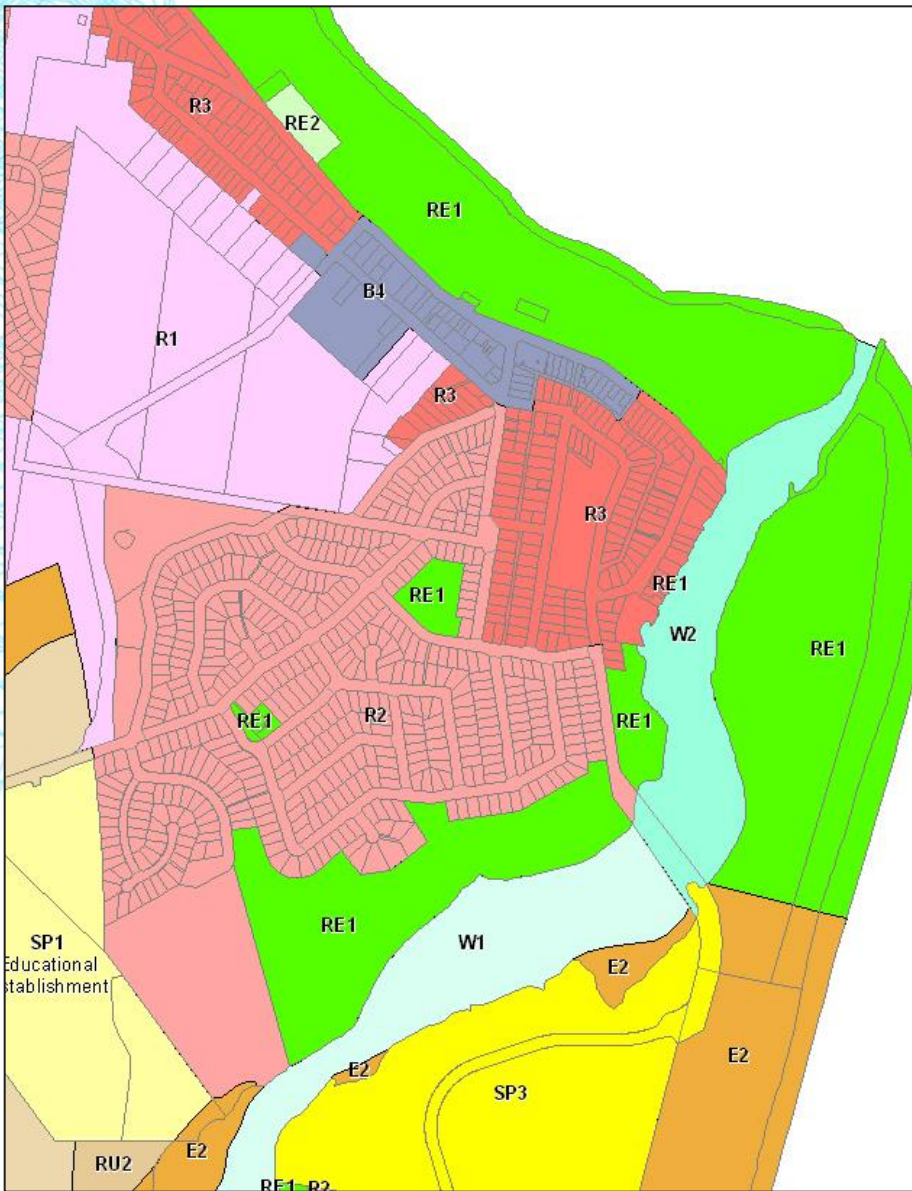


Osada Eungella:
Hare Krishna



System planistyczny
w stanie Nowa Południowa Walia



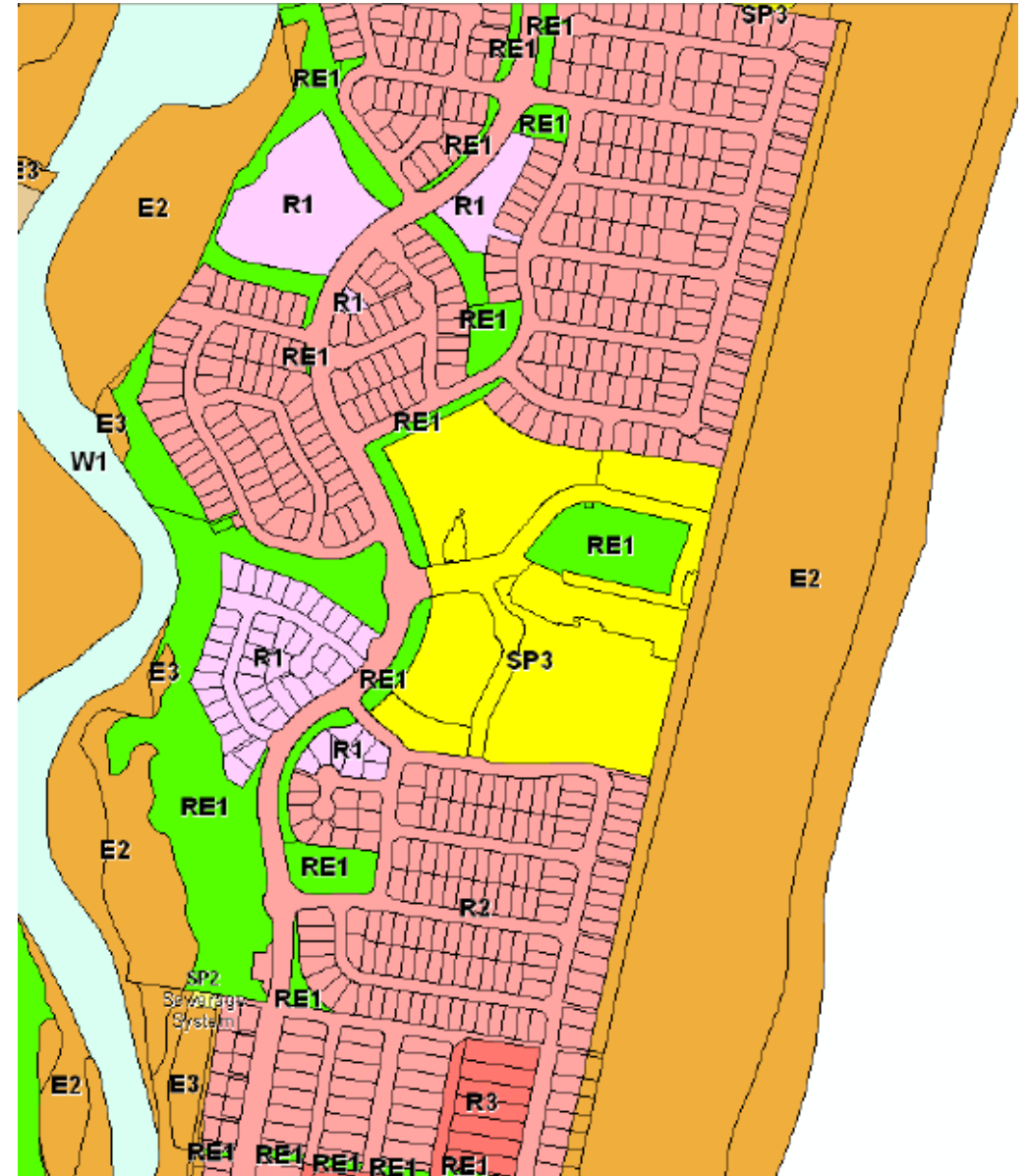


RU1	Primary Production
RU2	Rural Landscape
RU3	Forestry
RU4	Primary Production Small Lots
RU5	Village
RU6	Transition
R1	General Residential
R2	Low Density Residential
R3	Medium Density Residential
R4	High Density Residential
R5	Large Lot Residential
B1	Neighbourhood Centre
B2	Local Centre
B3	Commercial Core
B4	Mixed Use
B5	Business Development
B6	Enterprise Corridor
B7	Business Park
IN1	General Industrial
IN2	Light Industrial
IN3	Heavy Industrial
IN4	Working Waterfront
SP1	Special Activities
SP2	Infrastructure
SP3	Tourist
RE1	Public Recreation
RE2	Private Recreation
E1	National Parks and Nature Reserves
E2	Environmental Conservation
E3	Environmental Management
E4	Environmental Living
W1	Natural Waterways
W2	Recreational Waterways
W3	Working Waterways



Lokalny Plan Ogólny:

- Obejmuje obszar całej gminy,
- Oparty o standardowy wzorzec, jednakowy dla wszystkich gmin,
- Procedura sporządzenia planu zgodna z Ustawą
- Treść planu nie może być sprzeczna z Ustawą lub ze Stanowymi Przepisami Planistycznymi
- Lokalny kontekst planu powinien być oparty o Plany Kontroli Zabudowy



Zone B4 Mixed Use

1 Objectives of zone

- To provide a mixture of compatible land uses.
- To integrate suitable business, office, residential, retail and other development in accessible locations so as to maximise public transport patronage and encourage walking and cycling.

2 Permitted without consent

Environmental facilities; Environmental protection works; Home occupations

3 Permitted with consent

Boarding houses; Child care centres; Commercial premises; Community facilities; Educational establishments; Entertainment facilities; Function centres; Home industry; Hostels; Hotel or motel accommodation; Information and education facilities; Medical centres; Passenger transport facilities; Recreation facilities (indoor); Registered clubs; Respite day care centres; Restricted premises; Roads; Seniors housing; Shop top housing;

Any other development not specified in item 2 or 4

4 Prohibited

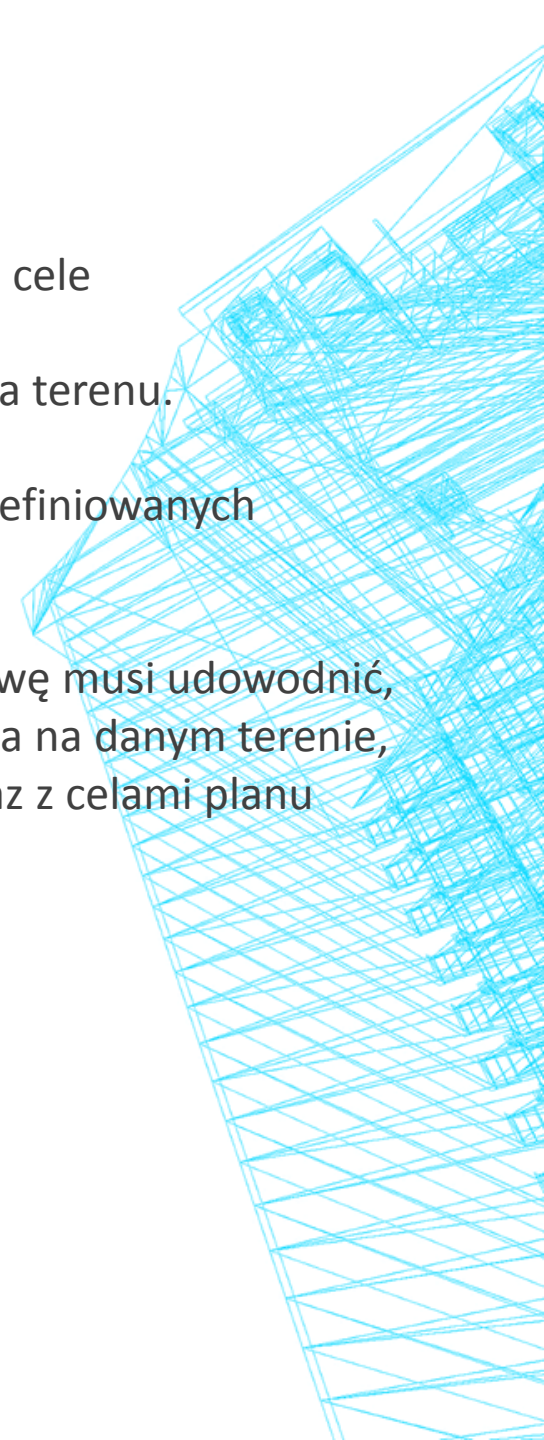
Agriculture; Air transport facilities; Airstrip; Animal boarding or training establishments; Boat building and repair facilities; Camping grounds; Caravan parks; Cemetery; Charter and tourism boating facilities; Correctional centres; Crematorium; Depots; Eco-tourist facilities; Exhibition homes; Exhibition villages; Extractive industries; Farm buildings; Farm stay accommodation; Forestry; Freight transport facilities; Heavy industrial storage establishments; Highway service centres; Home occupation (sex services); Industrial retail outlets; Industrial training facilities; Industries; Marinas; Mooring; Mortuaries; Open cut mining; Port facilities; Residential accommodation; Rural industries; Service stations; Sex services premises; Storage premises; Transport depots; Truck depots; Vehicle body repair workshops; Vehicle repair stations; Warehouse or distribution centres; Wharf or boating facilities; Wholesale supplies

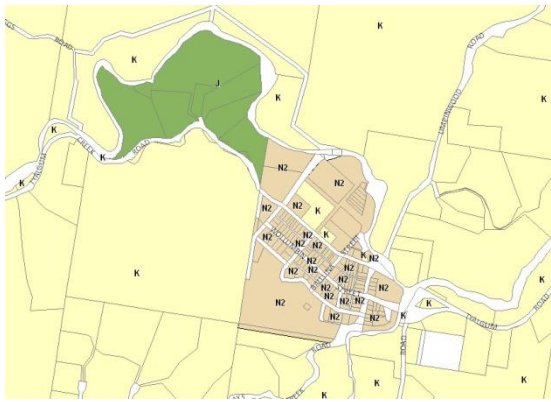
Przykładowy tekst planu:

Każda „zona” ma zdefiniowane cele oraz listę dozwolonych oraz zabronionych form użytkowania terenu.

System planistyczny ma 160 zdefiniowanych form użytkowania terenu.

Decyzja o pozwoleniu na budowę musi udowodnić, że dana budowa jest dozwolona na danym terenie, zgodna z celami danej zony oraz z celami planu ogólnego.





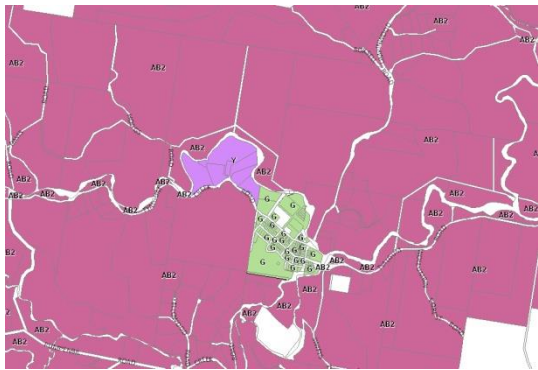
Wysokości budynków



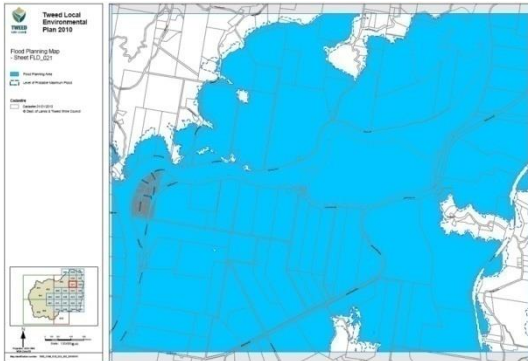
Ochrona zabytków



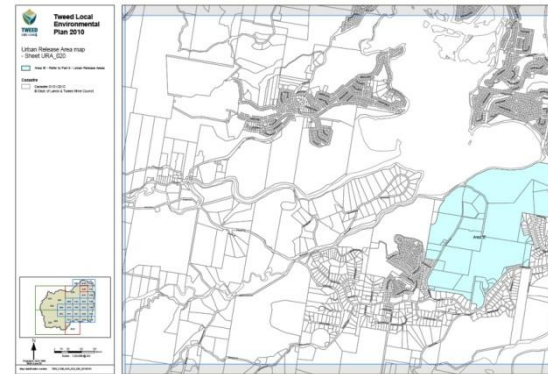
Intensywność zabudowy



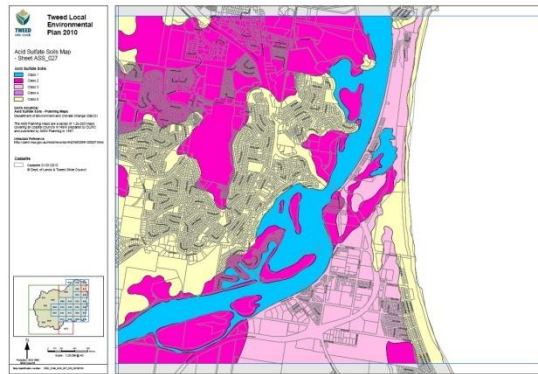
Maksymalna wielkość działek



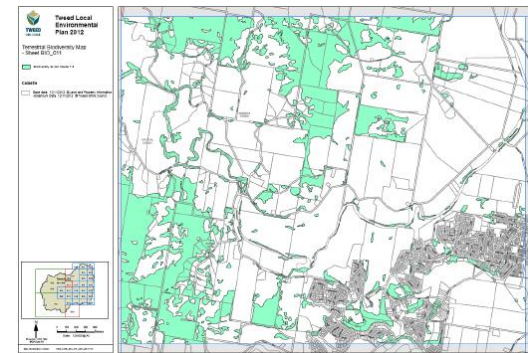
Tereny zalewowe



Tereny inwestycyjne



Kwaśne gleby



Tereny cenne przyrodniczo

Plan ogólny składa się z tekstu oraz z szeregu map odzwierciedlających uwarunkowania danego obszaru.



Punktowe zmiany planu ogólnego:

Procedura oparta o ustawę (Environmental Planning & Assessment Act 1979) oraz o wytyczne przygotowane przez (Stanowy) Departament Planowania i Infrastruktury.

Czy zmiana jest rezultatem strategicznego planu, raportu lub analizy?

Czy zmiana planu jest najlepszym sposobem na osiągnięcie zamierzonego celu lub czy istnieje lepszy sposób?

Czy zmiana planu spowoduje korzyści dla lokalnej społeczności?

Czy zmiana jest zgodna z ustawami oraz strategiami?

Czy zmiana jest zgodna ze Stanowymi Politykami Planistycznymi?

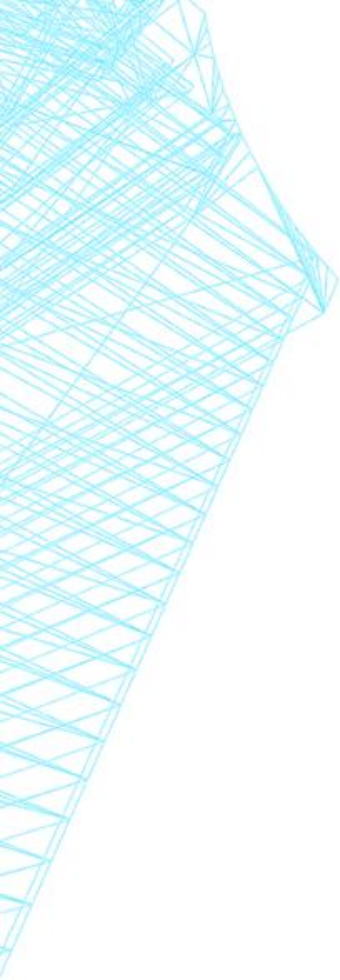
Czy zmiana jest zgodna z wytycznymi opublikowanymi pod Artykułem 117 ustawy?

Czy zmiana wiąże się z negatywnymi skutkami dla środowiska, lokalnej społeczności oraz gospodarki?

Czy zmiana uwzględnia interes Stanu oraz Rządu Federalnego?

Czy teren jest wyposażony w niezbędną infrastrukturę?

Czy zmiana została skonsultowana z niezbędnymi jednostkami administracji publicznej?



1. Employment and Resources

- 1.1 Business and Industrial Zones
- 1.2 Rural Zones
- 1.3 Mining, Petroleum Production and Extractive Industries
- 1.4 Oyster Aquaculture
- 1.5 Rural Lands

2. Environment and Heritage

- 2.1 Environment Protection Zones
- 2.2 Coastal Protection
- 2.3 Heritage Conservation
- 2.4 Recreation Vehicle Areas

3. Housing, Infrastructure and Urban Development

- 3.1 Residential Zones
- 3.2 Caravan Parks and Manufactured Home Estates
- 3.3 Home Occupations
- 3.4 Integrating Land Use and Transport
- 3.5 Development Near Licensed Aerodromes

4. Hazard and Risk

- 4.1 Acid Sulfate Soils
- 4.2 Mine Subsidence and Unstable Land
- 4.3 Flood Prone Land
- 4.4 Planning for Bushfire Protection

5. Regional Planning

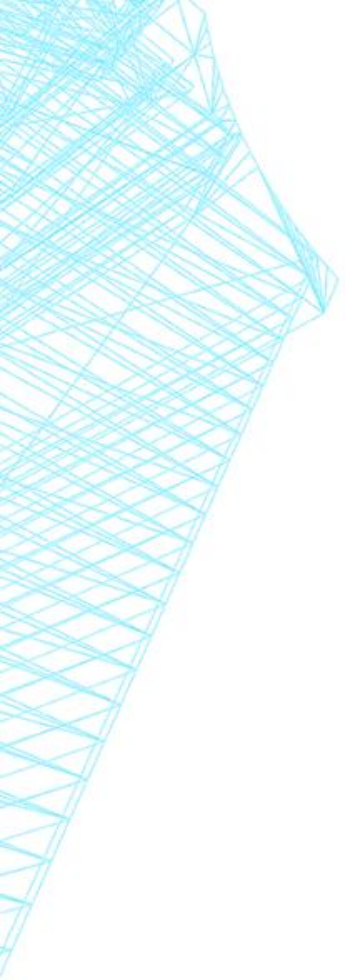
- 5.1 Implementation of Regional Strategies
- 5.2 Sydney Drinking Water Catchments
- 5.3 Farmland of State and Regional Significance on the NSW Far North Coast
- 5.4 Commercial and Retail Development along the Pacific Highway, North Coast

Wytyczne opublikowane
pod Artykułem 117 ustawy



1.2 Zony rolnicze

- (1) Celem tej wytycznej jest ochrona przydatności gruntów rolnych do produkcji rolnej.
- (2) Ta wytyczna obowiązuje następujące jednostki samorządowe:
(...)
- (3) Niniejsza wytyczna obowiązuje gdy samorząd przygotowuje plan lub zmianę planu która dotyczy terenu objętego lub proponowanego objęciem przez zonę rolną.
- (4) Plan nie może:
 - (a) zmieniać zony z rolnej na mieszkaniową, biznesową, przemysłową lub turystyczną
 - (b) zawierać przepisów prowadzących do zwiększenia intensywności zabudowy terenu.
- (5) Plan może być niezgodny z powyższym jeśli:
 - (a) niezgodność ta wynika z uchwalonego planu regionalnego lub strategii lokalnej, lub:
 - (b) niezgodność wynika z planu ochrony środowiska lub opracowania ekofizjograficznego,
 - (c) niezgodność jest minimalna.





Plany Kontroli Zabudowy:

Oparte o Artykuł 79 Ustawy:

Podczas wydawania decyzji o pozwoleniu na budowę, organ wydający decyzję musi wziąć pod uwagę (...) oraz Plany Kontroli Zabudowy.

Przykładowe PKZy:

Kodeks zabudowy mieszkaniowej,

Polityka parkingowa,

Polityka reklamowa,

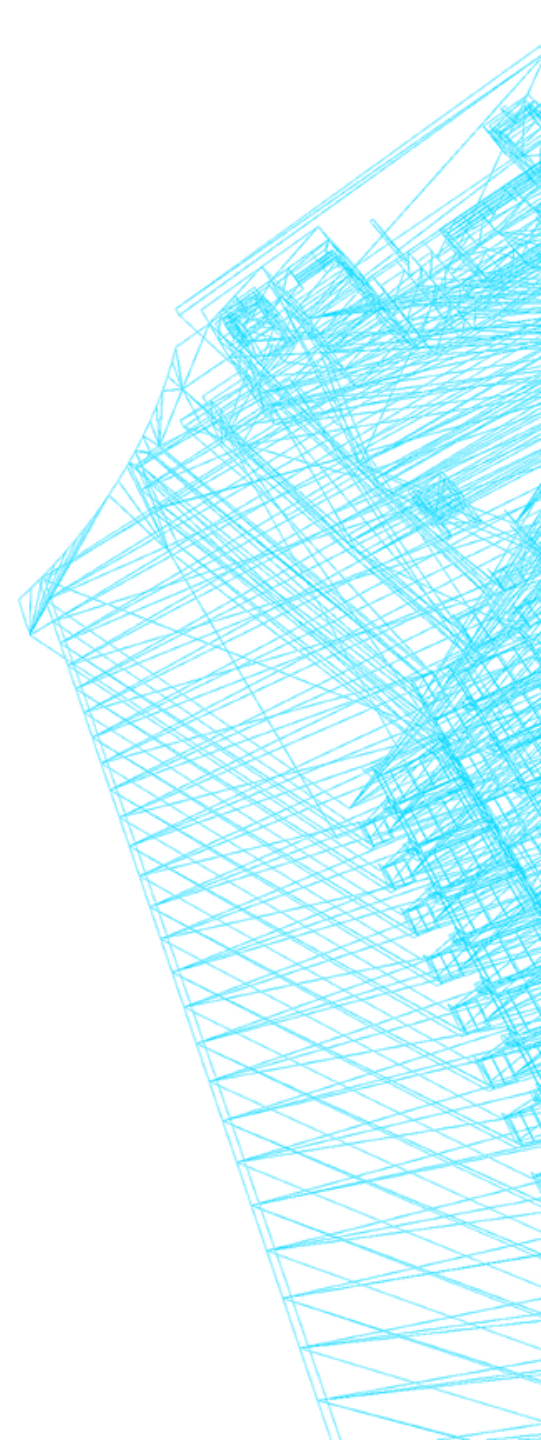
Scalenia i podziały,

Zabudowa na terenach zagrożonych powodzią,

Gospodarka odpadami,

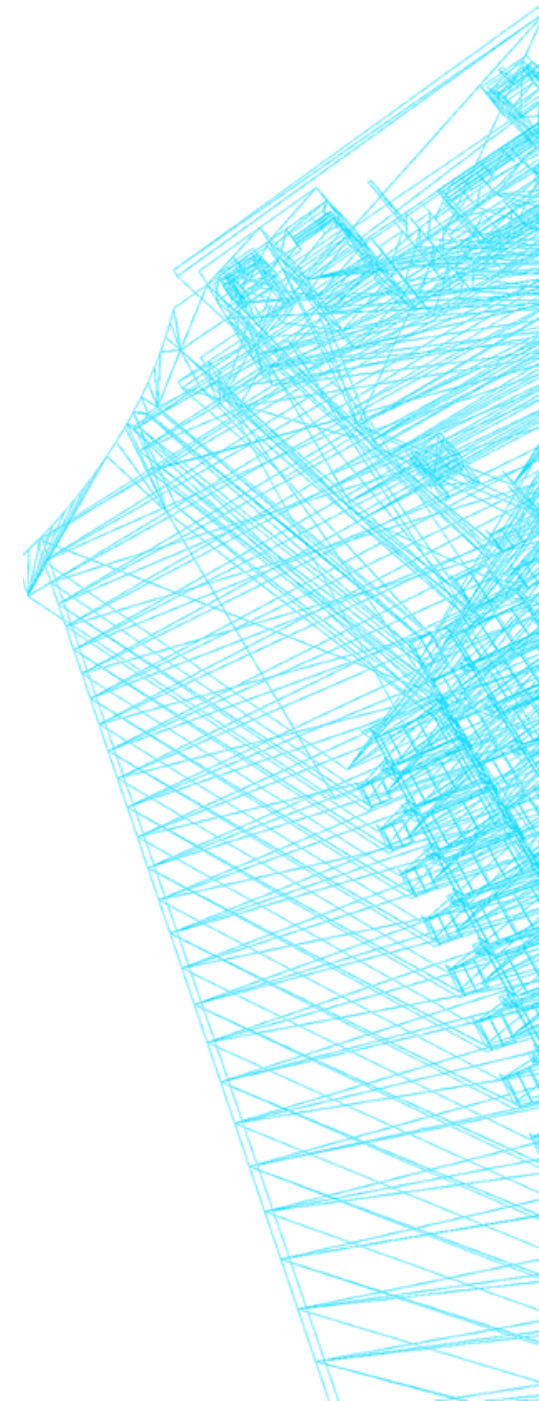
Zabudowa wzdłuż wybrzeża oceanu,

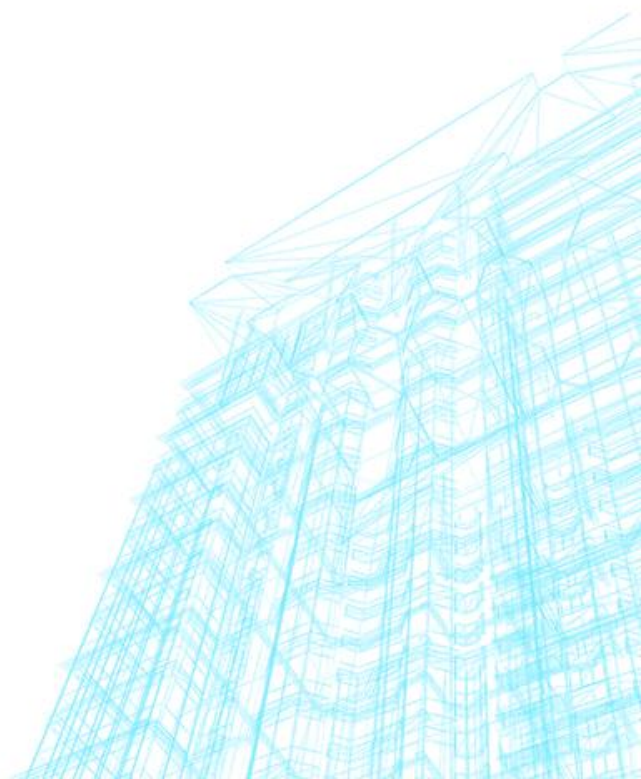
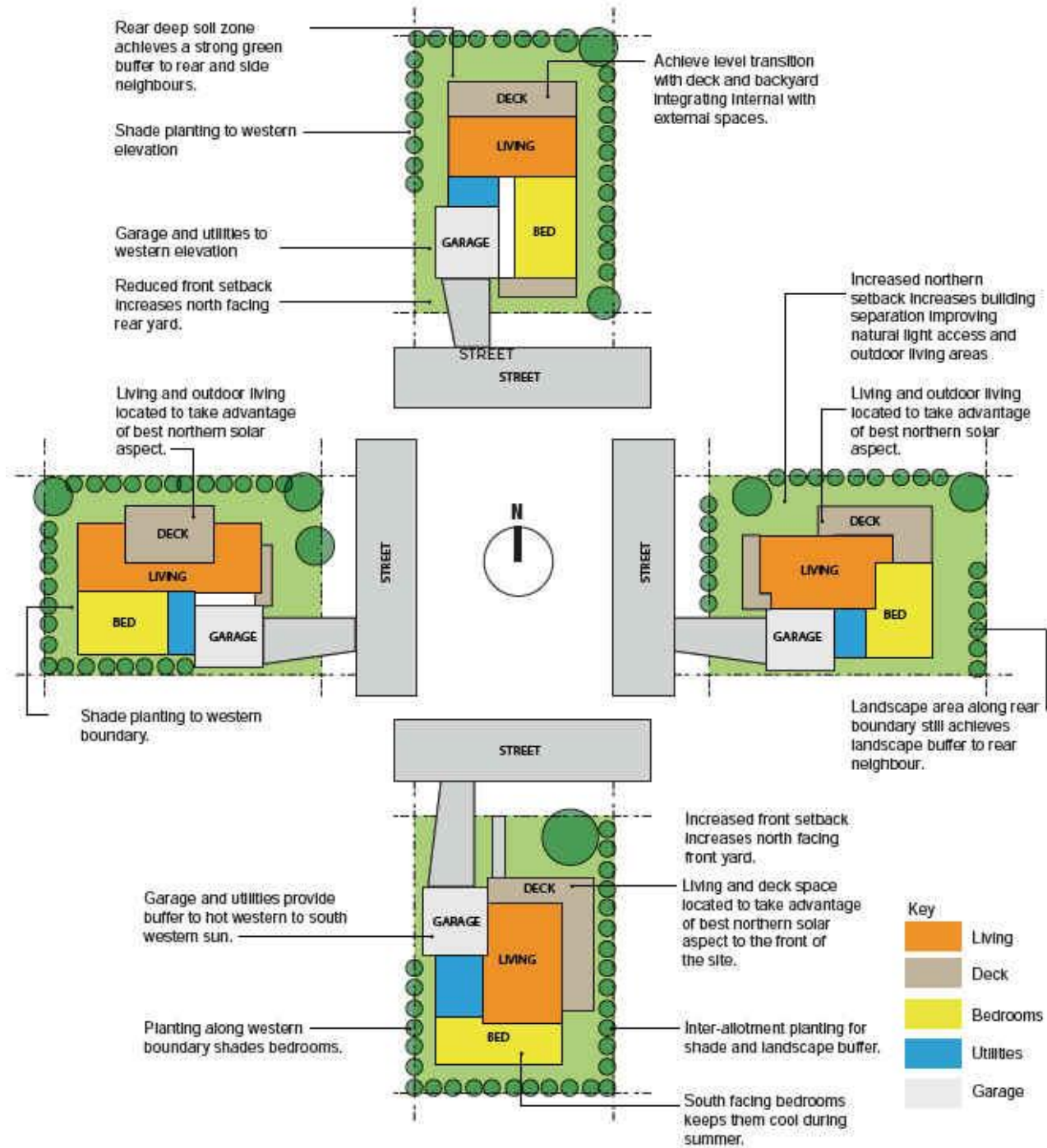
Plany lokalne (wytyczne urbanistyczne dla wybranych obszarów miasta).





Kodeks Zabudowy Mieszkaniowej – Plan Kontroli Zabudowy Nr A1 (Tweed Shire Council)

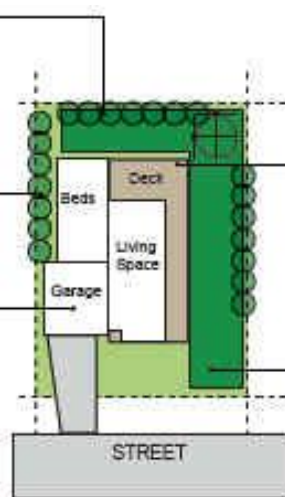




Rear landscape area achieves a strong green buffer to rear and side neighbours and provides shade over the backyard during summer months.

Shade planting to western elevation keeps your house cooler during summer months.

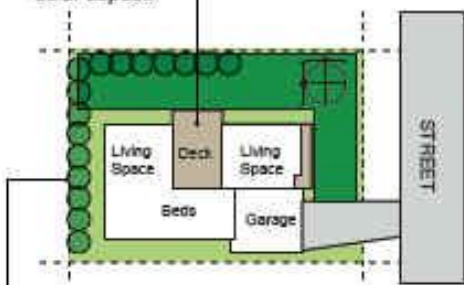
Garage and services to western elevation



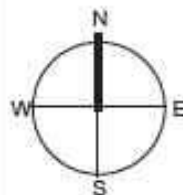
Achieve level transition with deck and backyard integrating internal with external spaces.

Front yard planting provides privacy from the street, as well as contributing to the 'greening' and landscape character of the street making it more attractive.

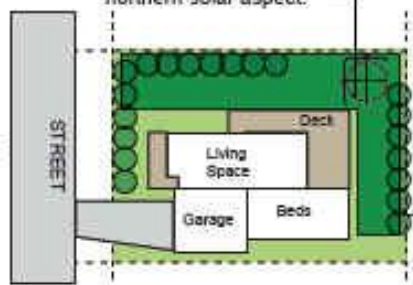
Landscape and deck areas located to take advantage of best northern solar aspect.



Shade planting to western boundary will increase shading and keep your house cooler using summer months.



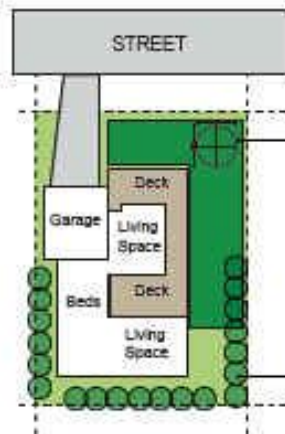
Landscaping area and outdoor living located to take advantage of best northern solar aspect.



Additional landscaping along rear boundary still achieves landscape buffer and privacy to rear neighbour.

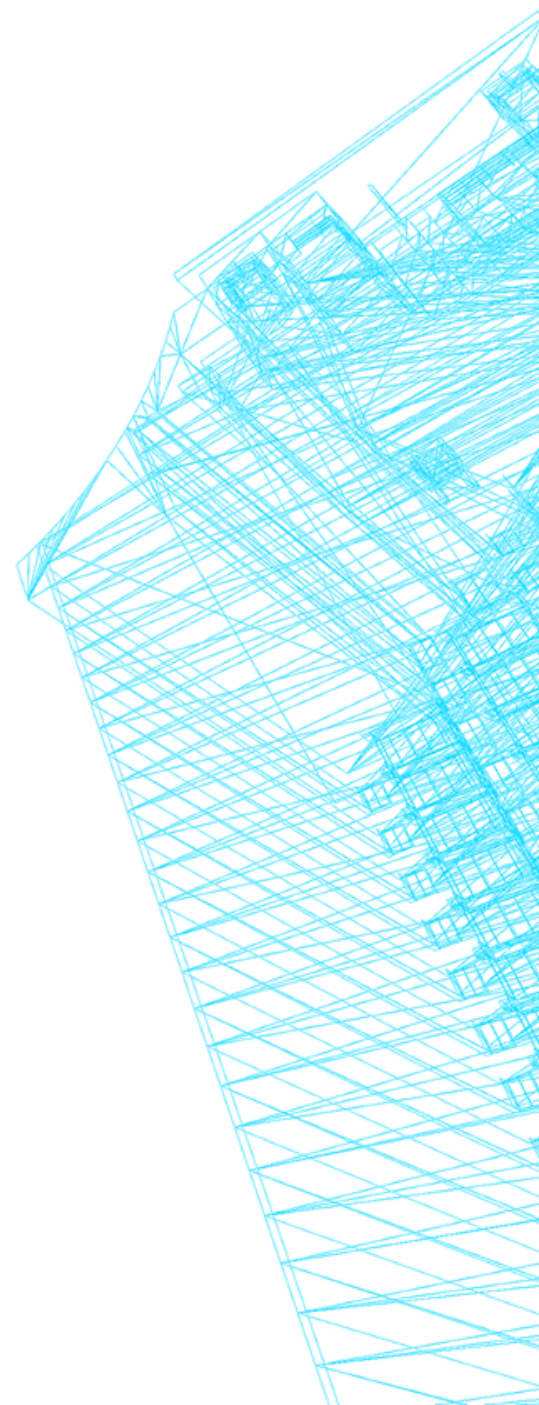
KEY

-  MINIMUM DEEP SOIL ZONE DIMENSION
-  LANDSCAPE AREA
-  BEST DEEP SOIL ZONE ORIENTATION
-  EXTERNAL LIVING AREAS
-  SHADE TO WESTERN ELEVATION



Best solar aspect on 'north facing' allotments is the front yard. Use a deep setback for your house and some street screen planting to create a more private front yard setting.

Inter-allotment planting for shade, landscape buffer and privacy.



Finishes and materials should be appropriate to the local climatic conditions, solar orientation and site specific aspect, opportunities and constraints. Suitable materials include:

- Timber, weatherboards, plywood, fibre cement sheeting, custom orb, mini orb;
- Face brick and rendered concrete block (or foam) is not to be used as the only material;
- Walls of masonry, stone or brick are permissible where it adds to the detailing of an elevation or forms the lower level of a two storey building.



Colours should:

- be complimentary to the natural landscape;
- consist of natural native palette;
- be resultant of the natural inherent colours of the materials e.g.) timber, stone, metal;
- consider reflectivity and glare to neighbouring properties.
- consider heat absorption with darker colours generally absorbing and lighter colours reflecting.



Building materials and structural systems are intrinsically linked. The structural system (eg. slab on ground, post and beam etc) should be closely suited to the sloping nature of your site to reduce construction costs, expensive earthworks, retaining walls and the amount of cut and fill. Construction type should be appropriate to degree of slope where a hybrid of slab on ground and suspended post and beam combinations can minimise cut and fill. Reduce impacts of cut and fill and site retaining walls with landscaping.



Outdoor areas including deep verandahs and balconies as an extension of indoor living space. Screening to balconies, doors, windows including drop blinds, fixed or moveable louvres and timber battens both assist in passive climatic controls (sun and breeze) as well as add to a buildings street appeal.



FLAT 0-6°

MODERATE 6-12°

STEEP 14-18°

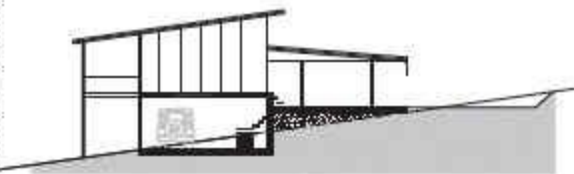
EXTREME < 20°



FLAT SITES

Single slab on ground construction (most project homes) are only really appropriate up to a slope incline of 4° or 7% as the cut/fill required becomes excessive (over 1.5m). Slopes between 4-6° should accommodate some level change within the building footprint.

- Single slab on ground
- Split or multiple slab for slopes over 4°
- Post and beam



MODERATE SLOPE

On slopes of 6-12° (up to 1:5) step two or more slabs or use part slab / part post and beam construction to accommodate the slope.

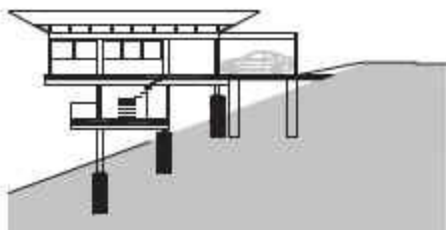
- Single slab on ground
- Split or multiple slab
- Post and beam



STEEP SLOPE

On slopes over 12°-18° (1:5-1:3) post and beam construction which steps with the site. This may include a lower part level which is a concrete slab.

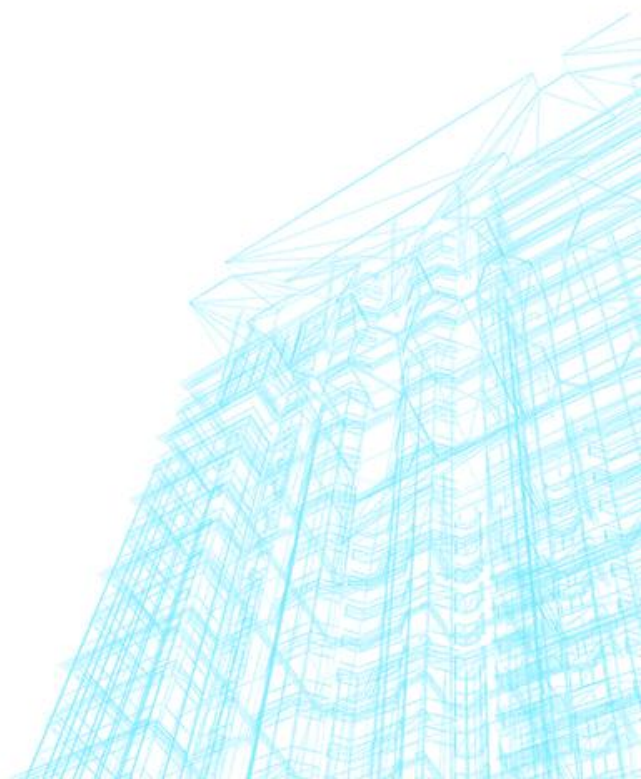
- Single slab on ground
- Split or multiple slab
- Post and beam



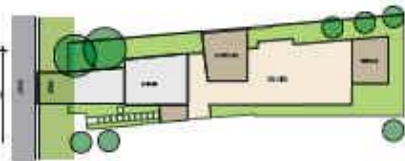
EXTREME SLOPE

Slopes over 18° (1:3) suspended or pole construction is required. This degree of slope is more suited to a downslope configuration. Driveway access is generally difficult on upslope lots which require large batters/retaining walls and a curving driveway.

- Single slab on ground
- Split or multiple slab
- Post and beam
- Pole house



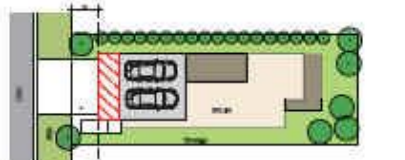
8.0m



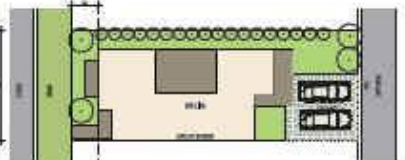
8.0m



10.0m



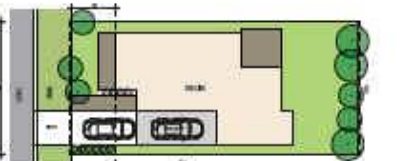
10.0m



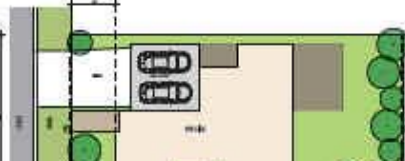
10.0m



12.0m



15.0m



NORTH



Consider greater front setback to maximise northern sun to yard space.

Front of building faces north to the street.

Lounge room and key living spaces orientated towards north with a small deck accessed directly off this space.

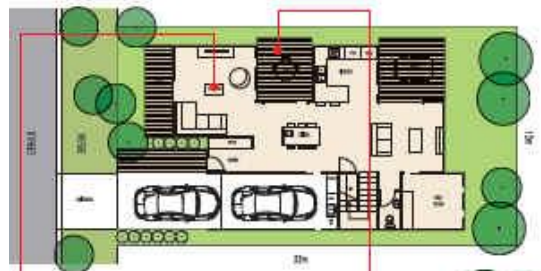
Series of smaller side courtyards provides for additional sunlight access across the floor plate.

Kitchen located to the east to get the morning sun.

Second family space and deck to get out of the sun during summer months.

Car spaces and services located along the western boundary to act as a buffer to the hot western sun.

WEST



Side elevation of allotment faces north, smaller side courtyards provides for north sunlight access across the floor plate and provides for internal landscaped areas.

Lounge room and key living spaces orientated towards north with deck outdoor living accessed directly off this space.

Cars and service areas (toilets, stairs) located to the south.

EAST



Include a deeper backyard to take advantage of the northern aspect.

Lounge room and key living spaces orientated towards north with deck outdoor living accessed directly off this space.

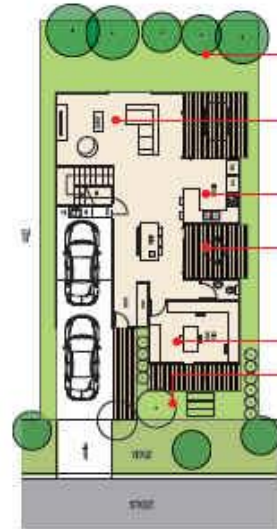
Kitchen located to the east to get the morning sun.

Smaller side courtyards provides for additional sunlight access across the floor plate.

Inclusion of a home office fronts the street.

Consider less front setback to southern boundary.

SOUTH





Przykład taniego budownictwa:

Caravan Park

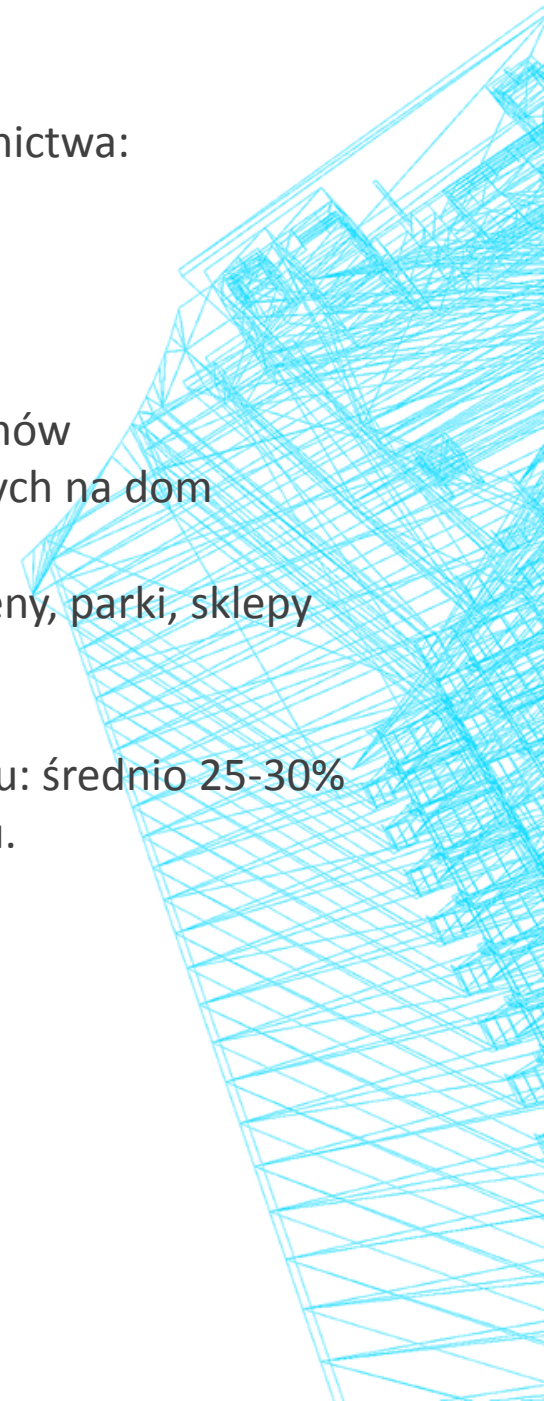
Działka: 5,89 ha

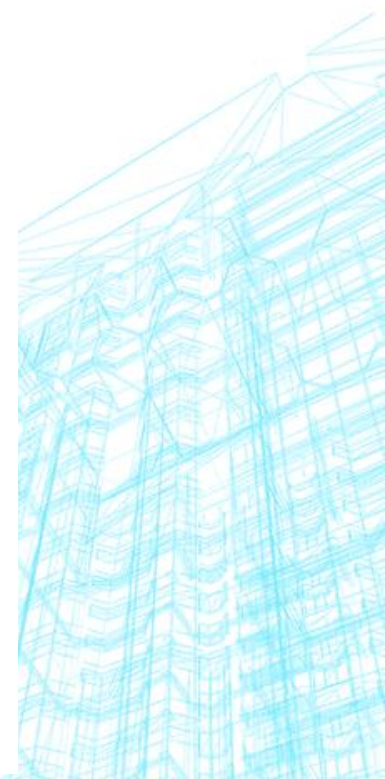
226 trzypokojowych domów

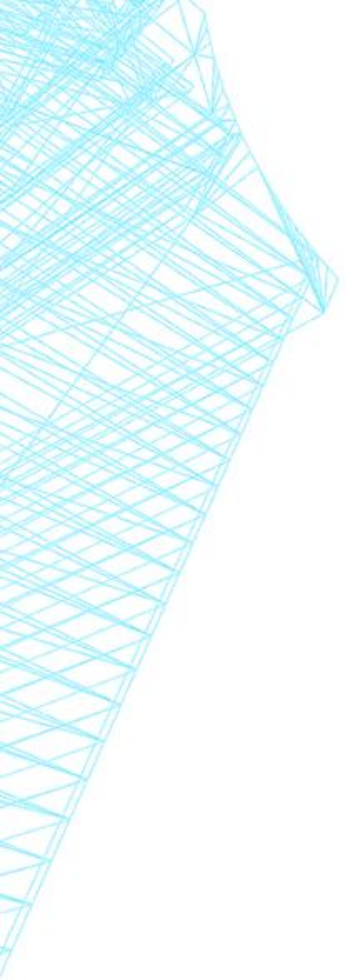
260 metrów kwadratowych na dom

Tereny rekreacyjne: baseny, parki, sklepy
w obrębie osiedla.

Koszt kupna lub wynajmu: średnio 25-30%
Ceny tradycyjnego domu.









SPP „Infrastruktura”:

- wyszczególnia 25 typów infrastruktury,
- wyznacza tryb i formę realizowania obiektów infrastrukturalnych na terenach objętych planami ogólnymi,
- plany ogólne nie zawierają żadnych zapisów dotyczących infrastruktury





SPP 44 „Ochrona Siedlisk Koali”

- Nakłada obowiązek zmiany planów miejscowych i wprowadzenia strefy ochronnej dla wszystkich terenów zidentyfikowanych jako siedliska koali.



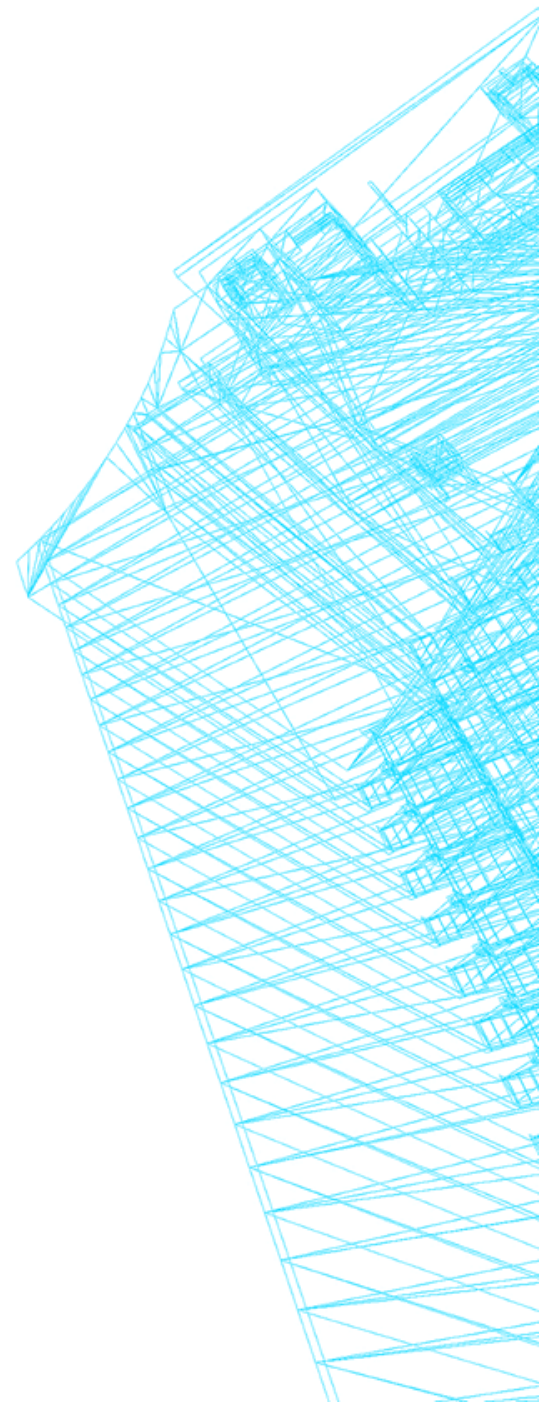


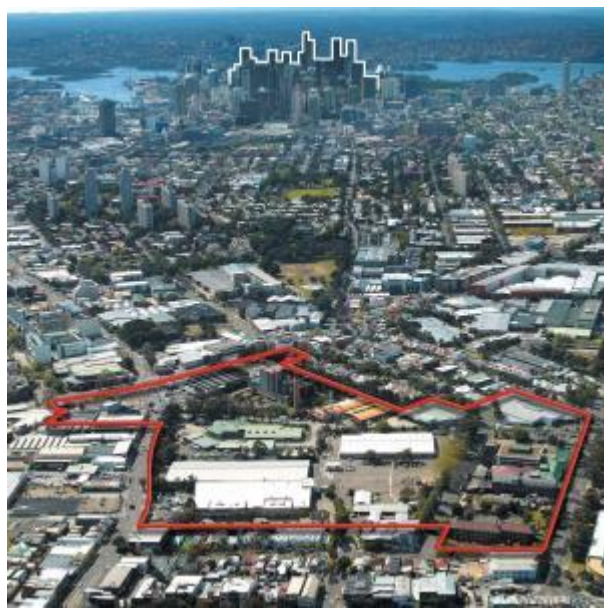
SPP „Zabudowa nie wymagająca pozwolenia budowlanego”

- Definiuje typy zabudowy nie wymagającej pozwolenia na budowę,
- Wprowadza pojęcie „Certyfikatu Zgodności”. Domy jednorodzinne spełniające wymagania zdefiniowane w tekście są zwolnione z tradycyjnej procedury ubiegania się o pozwolenie na budowę. Zamiast tej procedury urząd wydaje certyfikat zgodności w przeciągu maksimum 10 dni roboczych.

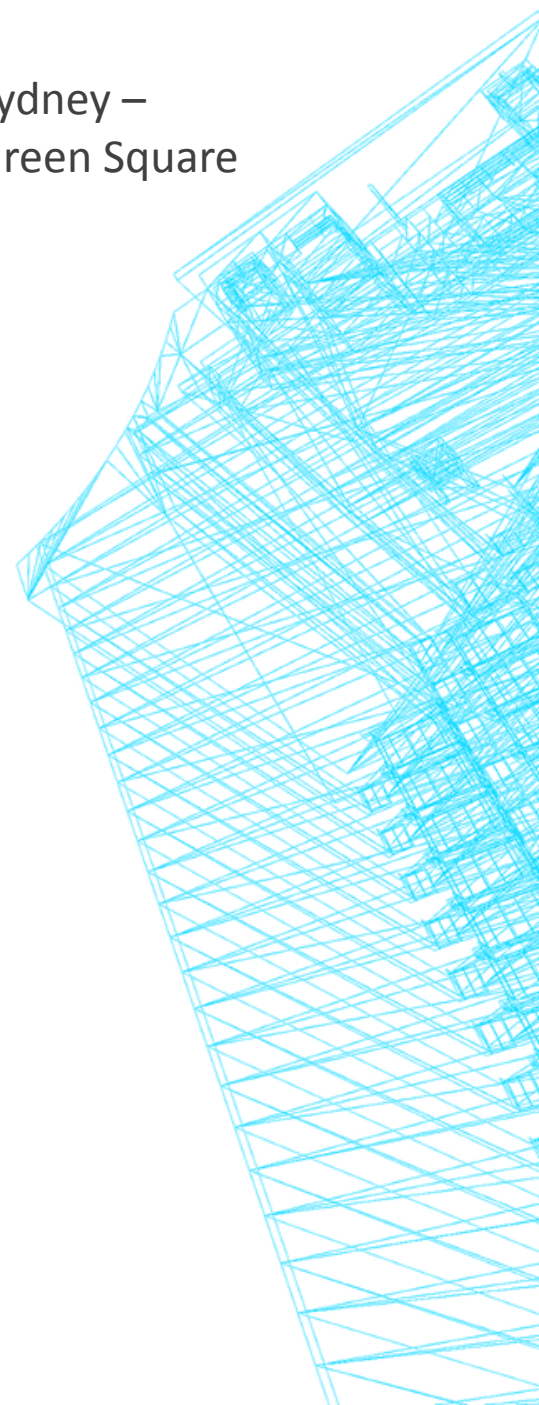
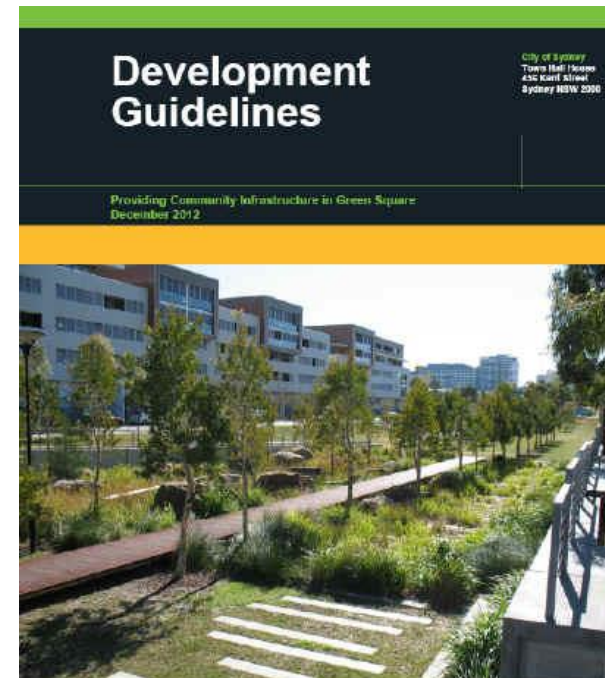
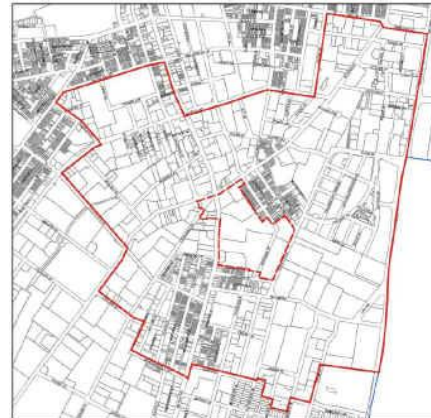


Kilka przykładów



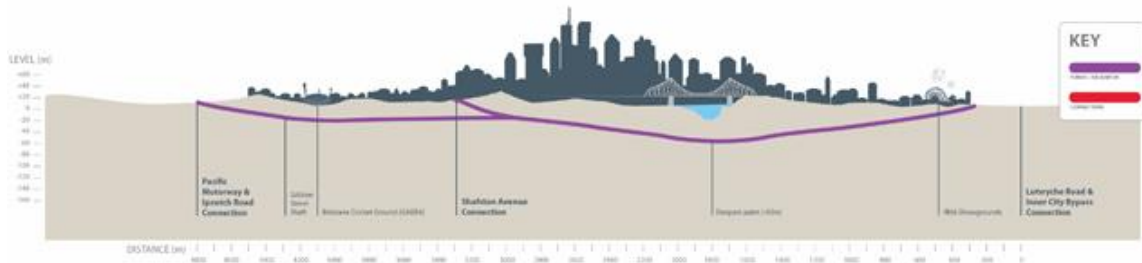


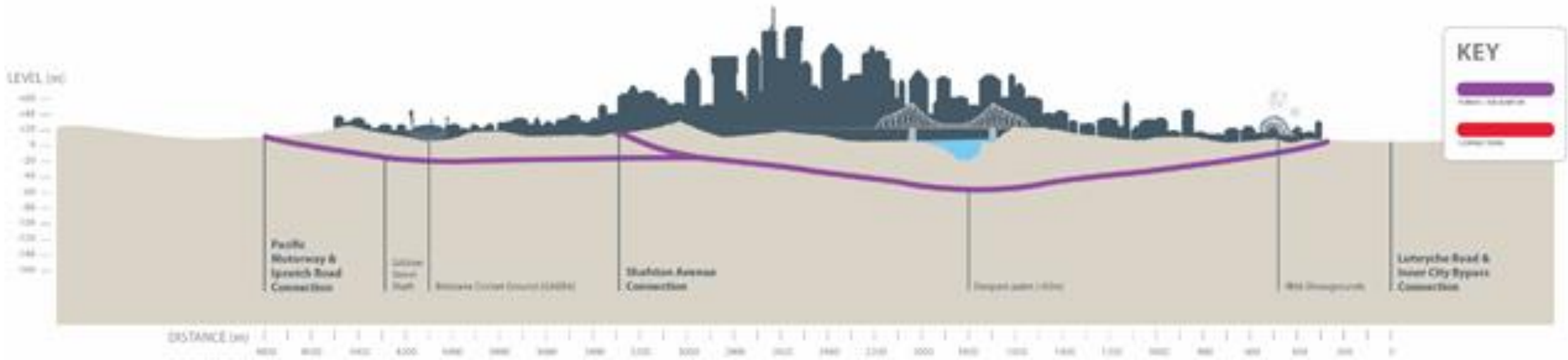
Sydney –
Green Square





Brisbane: system tuneli podziemnych TransAPEX





THE ROAD LESS TRAVELLED

BAD GUESS 1

90,000

number of vehicles they hoped would be using the tunnel by now

22,255

number of vehicles using the tunnel per day last month

BAD GUESS 2

128,000

number of vehicles they thought would be using it per day by 2021

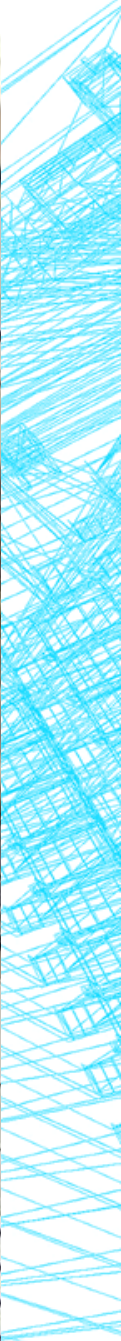
40,435

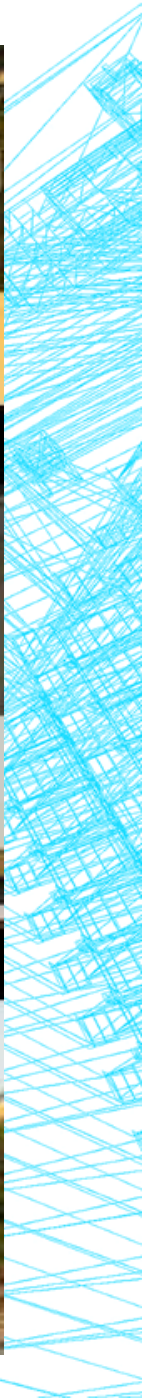
number of vehicles new forecast predicts will be using the tunnel per day in 2020



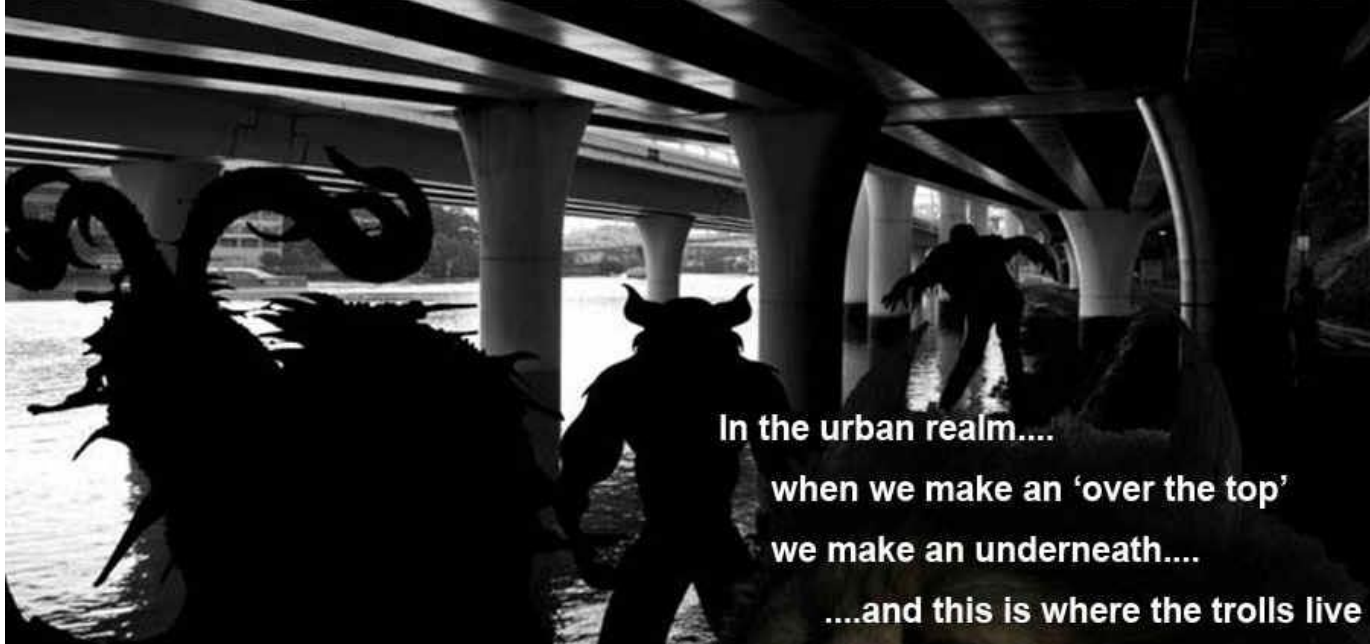


A PLACE FOR
PEOPLE?

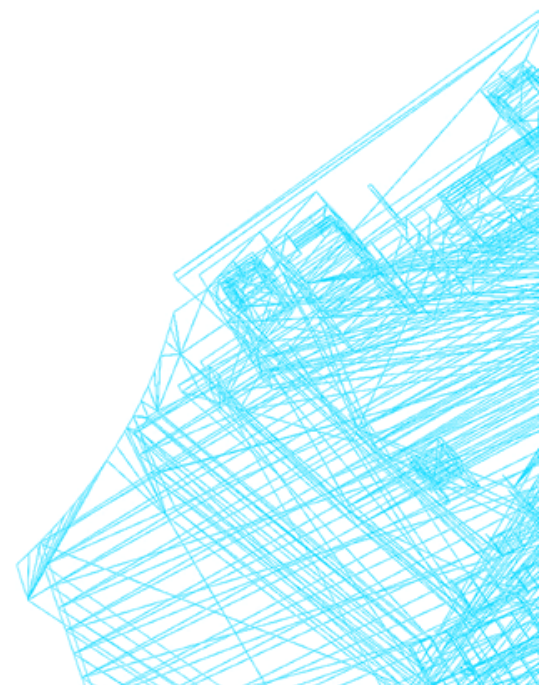




TROLL HABITAT



In the urban realm....
when we make an 'over the top'
we make an underneath....
....and this is where the trolls live

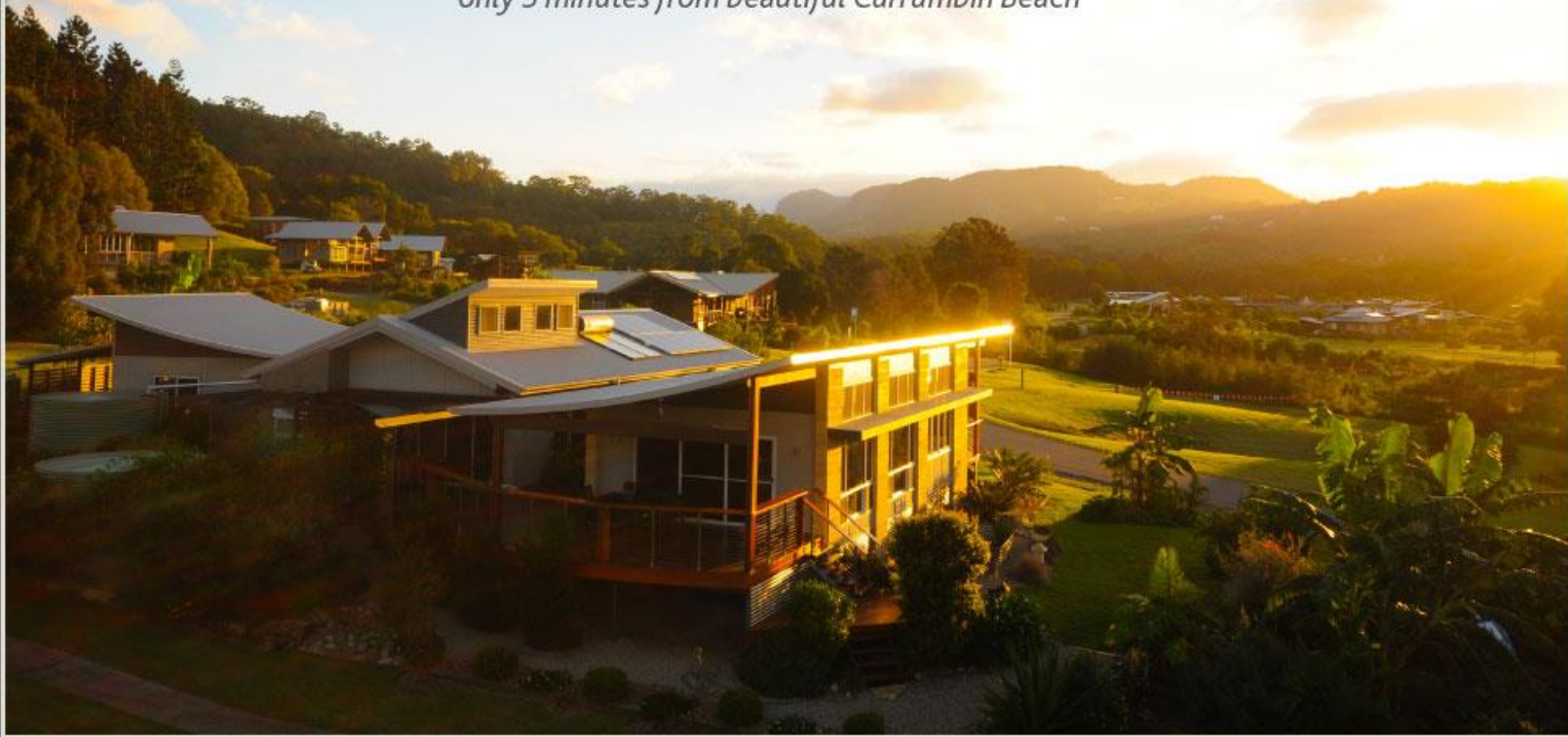


The Norwegian Folk Tale, the Three Billy Goats Gruff, popularly proposes the place under the bridges as a place for trolls.

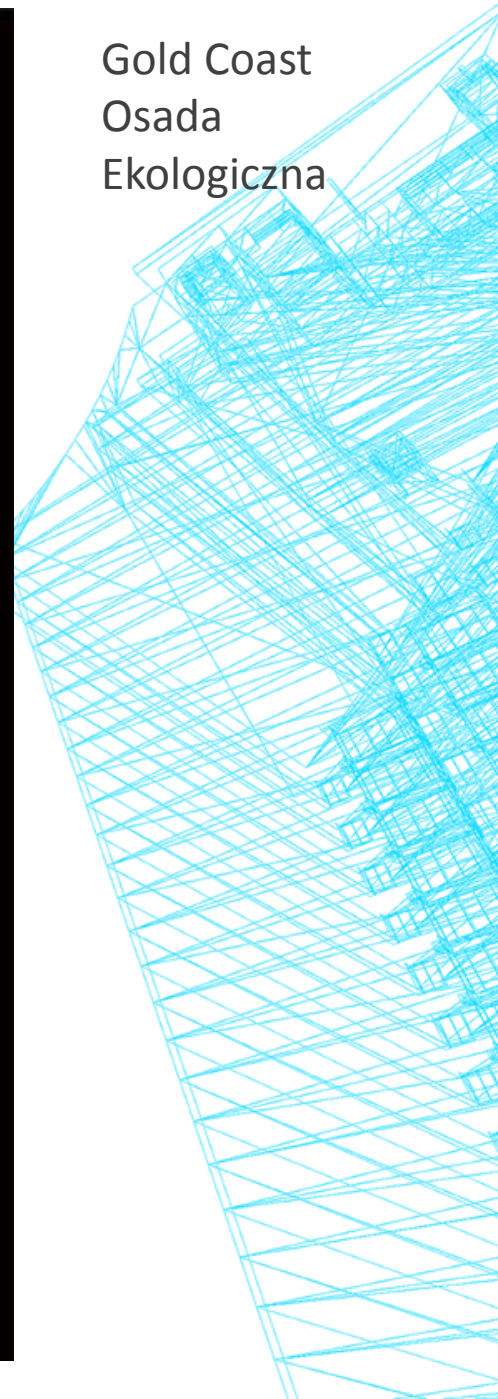
The Ecovillage ~ Currumbin Valley

the
ecovillage
AT CURRUMBIN

*A world leading ecologically sustainable community
only 5 minutes from beautiful Currumbin Beach*



Gold Coast
Osada
Ekologiczna





The Village

The Village Hub will be a magnificent cluster of 100 new rural Currumbin Creek Road. A Village square will be formed under this public and community work environment and within the location and be available for all local residents. The village will have the best of traditional township towns and will be designed to be a sustainable design environment.

An intensive centre will be established in the second and third years to be placed in the old and 20 years. The village is designed to be a sustainable design environment and will be available for all local residents. The village will offer a range of services to local residents, including a community produce outlet, a coffee shop / bakery and local work studios for residents including professionals.

Village living areas will include some two and one bedroom homes, some three studios. These village living areas will provide for residents needing close proximity to community activities. Homes will be surrounded by managed common areas and a range of public roads, and will be connected together by walkways and bike paths.

A village hall, public meeting area and meeting will be located in the village square and community that will be the edge of the village and offer a primary school. The school will be accessed by a timber bridge over the creek by the edge of the village square. A public path adjacent to the school will be accessed from the school and community.

The Community will be a sustainable design environment. The Community will be planned with a central area, which can be accessed by the community using water. Village areas will be designed to maintain low impact areas and to be accessible to all residents. The village will be a sustainable design environment. The village will be a sustainable design environment. The village will be a sustainable design environment.

Landmatters
Currumbin Valley The Lot



The Landmatters Ecovillage A Place In Currumbin Valley

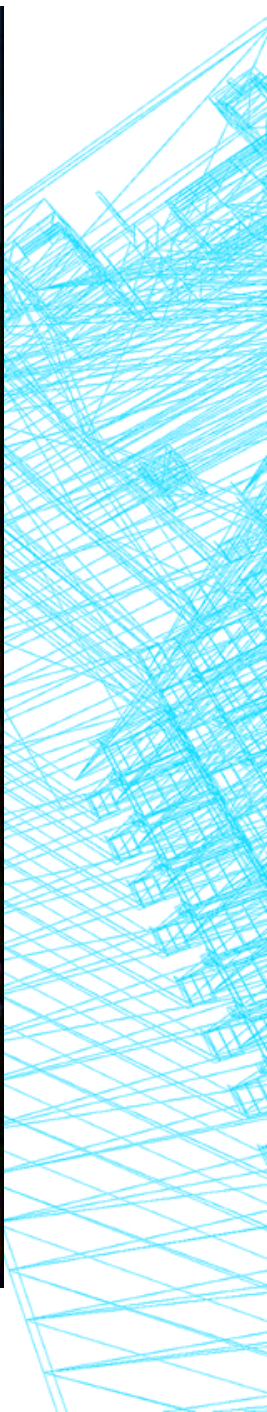
The Village - Concept Plan

September 2002



1:1000



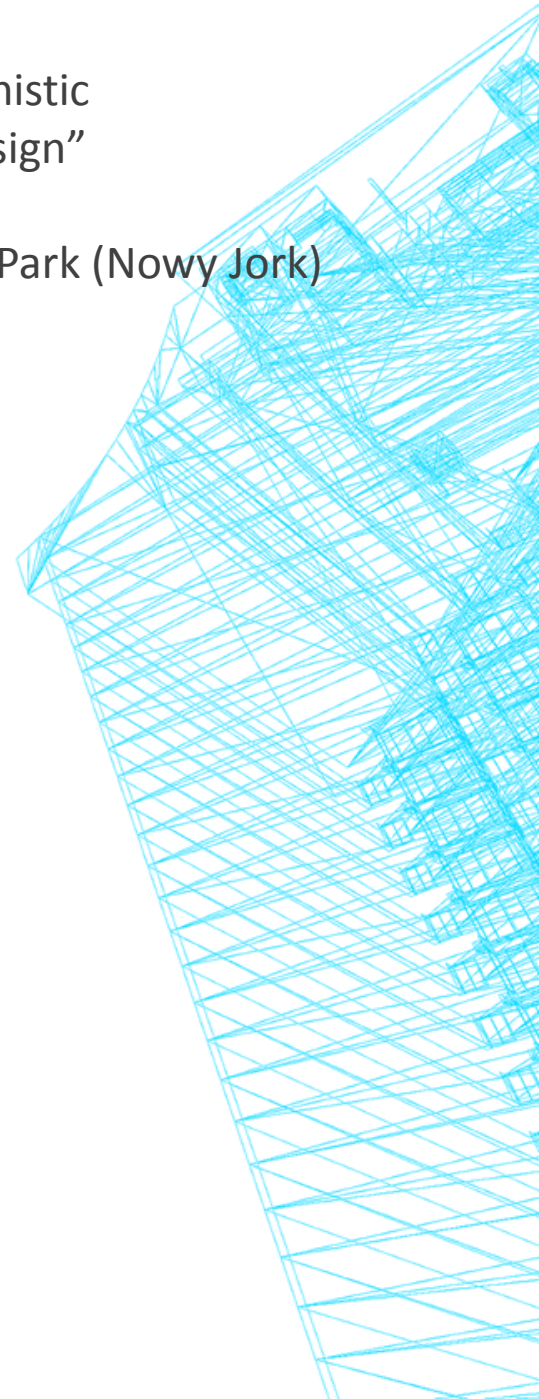






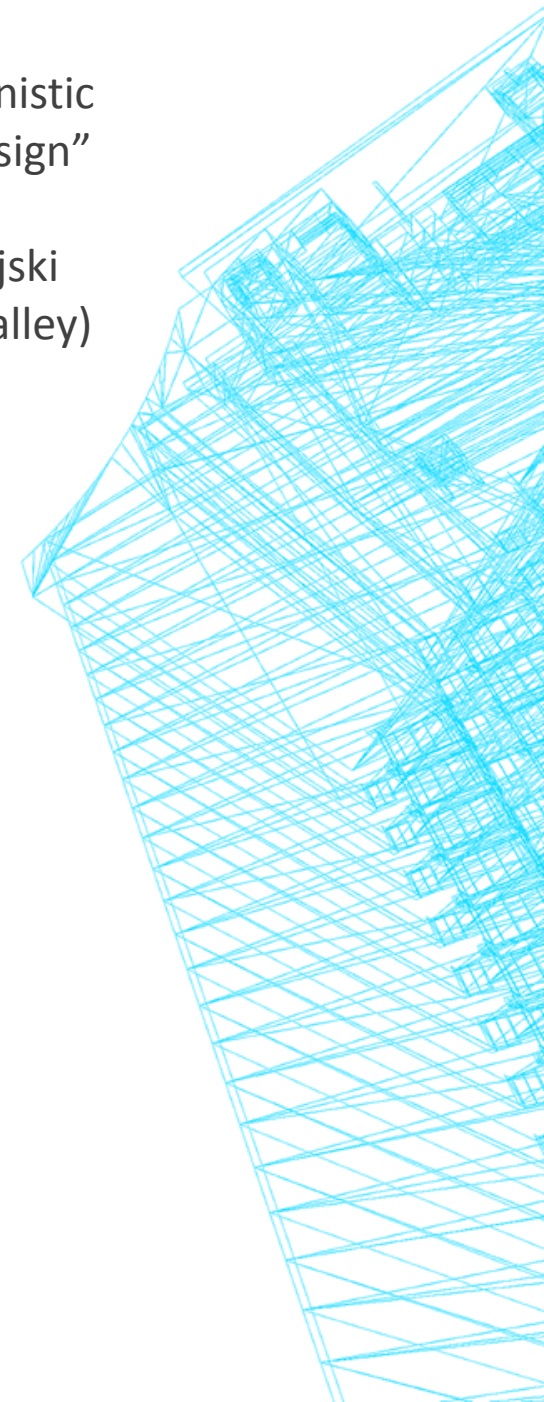
„Opportunistic
Urban Design”

High Line Park (Nowy Jork)



„Opportunistic
Urban Design”

Most Miejski
(Tweed Valley)



NSW Planning Policies

Set the state's planning objectives and priorities.

State

State government

Regional Growth Plans

Establish vision and growth strategy for the region, including region wide housing, employment, environmental and conservation objectives.

Region
(eg Sydney Metropolitan Area)

State government

Subregional Delivery Plans

Set a vision for a subregion consistent with regional objectives and provides delivery tools, including zoning areas of subregional significance.

Subregion
(group of councils)

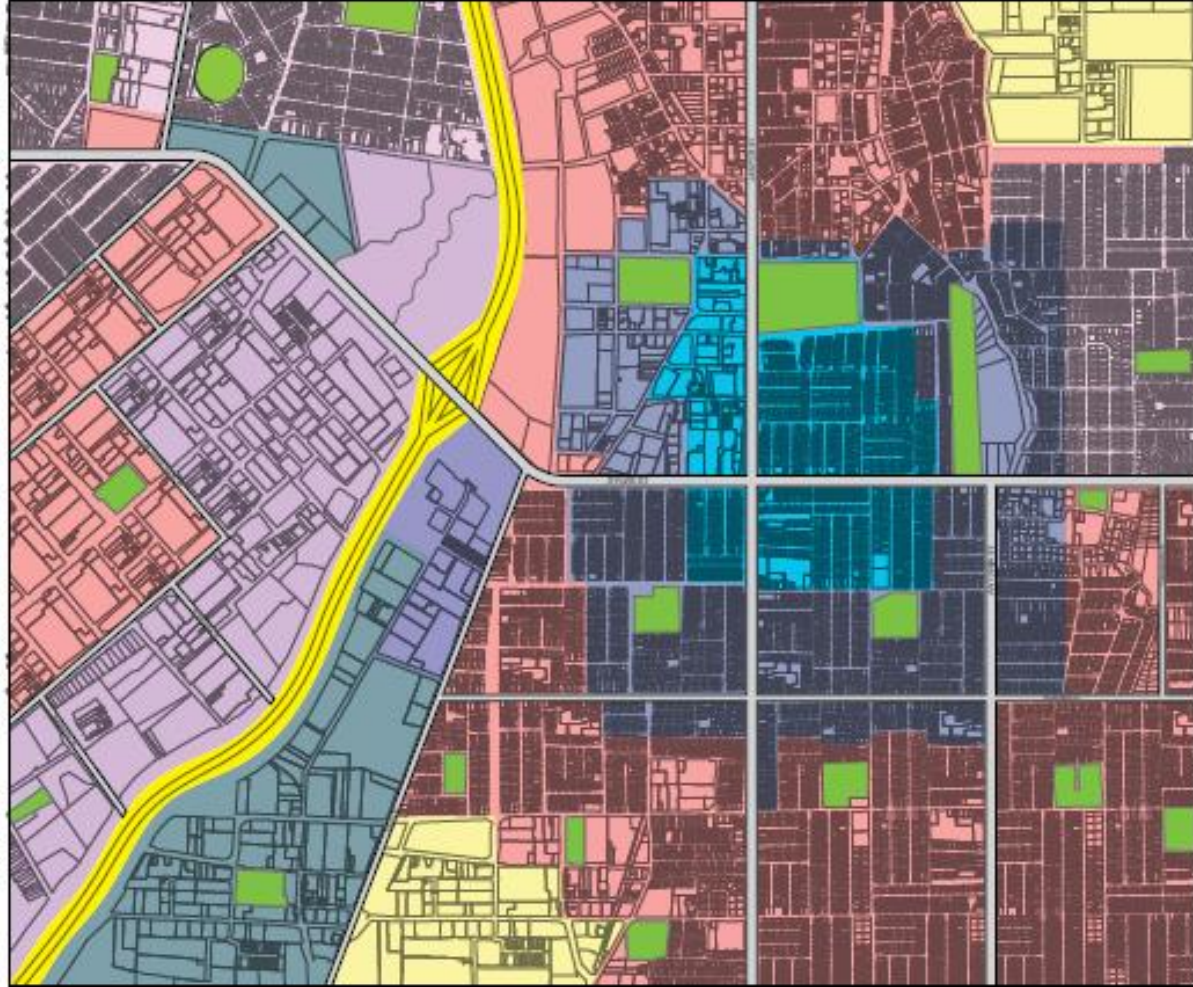
Subregional Planning Board

Local Plans

Outline the vision for an area and specify zoning, development guides and infrastructure consistent with that vision.

Local government area

Local council



Current planning system

Development shaped primarily by zoning

New planning system

Development shaped by strategy, land use zones and development guides

ZONES

Strategy sets the vision

Planning controls set land use

Development guides address impacts and intensity

Dziękuję

